



jordan fishwick

BURNAGE
Burnage Lane



Burnage Lane, Burnage, M19 1EF

£350,000

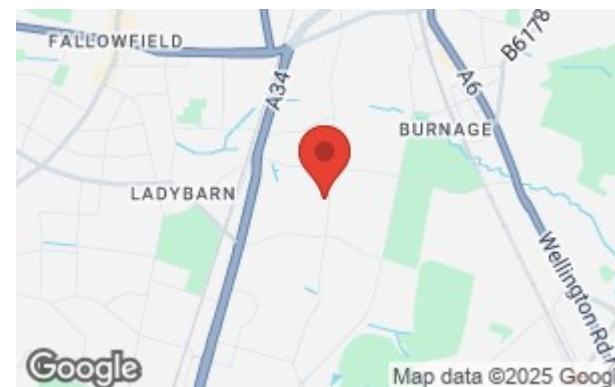


The Property

An attractive and exceptionally spacious period semi detached property, in need of some updating, offering a great blend of original characteristics with plenty of potential for further development such as loft conversion, subject to necessary approval. 1485sq ft of internal accommodation comprising: Entrance porch, entrance hall, lounge with bay window and period fire surround, dining room, sitting room, kitchen and utility room. To the first floor: three double bedrooms and family bathroom. Paved driveway to the front and lawned rear garden and mature borders. Gas central heating and double glazing completes the specification No chain.

Directions

M19 1EF



- Three double bed period semi
- Three reception rooms
- In need of some updating
- Potential loft conversion
- Off road parking
- Double glazed & gas central heating
- No Chain
- Plenty of potential

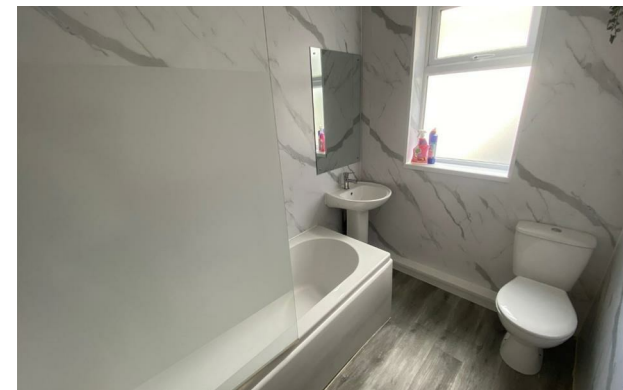
Postcode - M19 1EF

EPC Rating - D

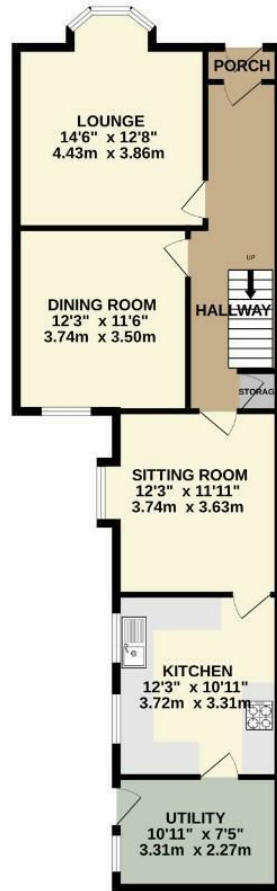
Floor Area - 1485.00 sq ft

Local Authority - Manchester City Council

Council Tax - C



GROUND FLOOR
791 sq.ft. (73.5 sq.m.) approx.



1ST FLOOR
694 sq.ft. (64.5 sq.m.) approx.



TOTAL FLOOR AREA: 1485 sq.ft. (138.0 sq.m.) approx.
Measurements are approximate. Not to scale. Illustrative purposes only.
Made with Metropix ©2025



These particulars are believed to be accurate but they are not guaranteed and do not form a contract. Neither Jordan Fishwick nor the vendor or lessor accept any responsibility in respect of these particulars, which are not intended to be statements or representations of fact and any intending purchaser or lessee must satisfy himself by inspection or otherwise as to the correctness of each of the statements contained in these particulars. Any floorplans on this brochure are for illustrative purposes only and are not necessarily to scale.

Offices also at: Wilmslow, Macclesfield, Hale, Sale, Chorlton, Glossop, Manchester & Salford

757-759 Wilmslow Road, Didsbury Village, Manchester

0161 445 4480

didsbury@jordanfishwick.co.uk
www.jordanfishwick.co.uk